

## 3.2 Development Standards

*The Development Standards apply to all parcels and serve as criteria for the review of all proposed development.*

The Development Standards, key implementation tools for the East Otay Mesa Specific Plan SubArea 1, shall apply to all parcels and serve as criteria for the review of all development including interim uses. These Standards will accomplish the following:

- Administration through a Site Plan Permit or other discretionary permit;
- Creation of industrial and business parks with strong identities and a place of distinction and quality;
- Establishment of criteria to create cohesive, visually unified industrial and business centers; and
- Assurance of a compatible interface with the proposed Otay Valley Regional Park that enhances both the industrial development as well as the nearby Regional Park.

The Development Standards are intended to allow design flexibility under the premise that several design solutions can ultimately achieve a stated goal.

The intent of this section is to create a user-friendly, quick reference, in table format, that contains pertinent information for various design professionals that will be implementing the Specific Plan through development proposals. The desired result is to assist the applicant in preparing complete comprehensive submittals that can be readily reviewed by County staff. Section 6250 of the County Zoning Ordinance shall regulate On-Premise Signage. Development Standards are broken into three main areas as follows:

- Site Planning
- Landscaping
- Architectural

If not otherwise specified herein, requirements of the County Public Road Standards, County Off-Street Parking Manual, County Landscape and Water Conservation Design Manual, County Grading Ordinance and County Dark Sky Ordinance shall apply to both permanent and interim uses. Where there are conflicting requirements, those included in this Specific Plan shall apply.

*If not otherwise specified herein, requirements of the County Public Road Standards, County Off Street Parking Manual, County Landscape and Water Conservation Design Manual, County Grading Ordinance and County Dark Sky Ordinance apply.*

### 3.2.1 Site Planning

*All permanent development in the Specific Plan Area shall comply with the Site Planning Standards.*

Table 3.2-1 sets forth specific standards and requirements for Site Plan design and for development. Many of the standards apply to all of the land uses allowed in the Specific Plan Area, and others apply only to a specific type of land use. All permanent development projects in the Specific Plan Area shall comply with the Site Planning Standards. Interim uses shall also comply with the Site Planning Standards with the exception of type of structure, which is limited by The Zoning Ordinance.

The Site Planning Standards (Table 3.2-1) addresses the following:

- Use, Intensity and Bulk Requirements
- Site Access
- Parking
- Grading
- Building Orientation
- Usable Open Spaces
- Service Areas
- Fencing, Walls and Hedges
- Lighting

**Table 3.2-1  
Site Planning Standards**

Regulations	Technology Business Park	Light Industrial	Heavy Industrial	Activity Node	Commercial Center	Conservation/Limited Use Area
<b>USE, INTENSITY AND BULK REGULATIONS</b>						
Use Regulations	S88	S88	S88	S88	S88	S88
Minimum Lot Size	30,000SF	30,000SF	30,000SF	4,000SF	10,000SF	1ac
Building Type	W	W	W	W	W	W
Floor Area Ratio	.5 / 1.0 <sup>1</sup>	.5	.5	1.0	1.0	.35
Max. Building Height	150'	100'	60'	150'	35'	25'
Max. Building Coverage	.40	.50	.50	.50	.50	.25
<b>Min. Building Setbacks</b>						
<i>Streets: (measured from edge of right-of-way)</i>						
Prime Arterial Road	25'	25'	25'		20'	25'
Major Road	20'	20'	20'		20'	25'
Industrial/Commercial Collector Road (4-Lane)	20'	20'	20'	5'	20'	25'
Industrial/Commercial Collector Road (2-Lane)	10'	10'	10'	5'	15'	15'
<i>Yards: (measured from property line)</i>						
Interior Side Yard	0' to 30' (sum of interior yards shall equal at least 30'); 50' from top of slope if adjacent to the Otay Valley Regional Park			0'	20' for buildings and 15' for parking and driveway. Shared driveways will not require an interior yard setback.	20'
Rear Yard	5'	5'	5'	5'	5'	5'
Enclosures	Outdoor storage with screening per Development Standards (Fencing, Walls and Hedges)			Outdoor storage prohibited except weekend sidewalk sales	Outdoor storage prohibited except for display and sale of landscape items and seasonal items.	Outdoor storage with screening per Development Standards.
Animal Regulations	D	D	D	D	D	D

**Symbol Key****W:** Non-residential, attached or detached, same lot or separate lot.**D:** See Designator "D" of the Animal Schedule of the County Zoning Ordinance, Section 3100.**Site Planning Matrix Footnote**

1 1.0 FAR when within 1,250 feet of Activity Node; 0.5 FAR when located more than 1,250 feet from Activity Node

<b>TABLE 3.2-1 Site Planning Standards</b>	
	<b>All Land Use Designations</b>
<b>SITE ACCESS</b>	
<b>Prime Arterials</b>	<ul style="list-style-type: none"> <li>No direct property access is permitted.</li> </ul>
<b>Major Roads</b>	<ul style="list-style-type: none"> <li>Driveway cuts permitted wherever street intersections would otherwise be allowed and shall be right-in and right-out only.</li> </ul>
<b>Collector</b>	<ul style="list-style-type: none"> <li>Driveway cuts permitted wherever street intersections would otherwise be allowed.</li> </ul>
<b>Local Streets</b>	<ul style="list-style-type: none"> <li>&lt;150' frontage: 1 curb cut</li> <li>&gt;150'–200' frontage: 2 curb cuts</li> <li>&gt; 200' frontage: 1 cut / 100' (round up at 250", etc.)</li> </ul>
<b>Transit Planning</b>	<ul style="list-style-type: none"> <li>Bus pullouts at transit stops needs shall be reviewed by MTDB and may be required on all Prime Arterials and Major Roads.</li> <li>The Commercial Center shall accommodate transit facilities to the satisfaction of the County and in coordination with MTDB.</li> <li>When the County Board of Supervisors adopts a Transit Plan, including development standards and route locations, all development within East Otay Mesa shall be required to comply with that plan.</li> </ul>
<b>Driveway Width</b>	<ul style="list-style-type: none"> <li>40' maximum; 30' maximum in Activity Nodes; 60' maximum for tandem driveways.</li> </ul>
<b>Curb Radius</b>	<ul style="list-style-type: none"> <li>Refer to County Road Standards</li> <li>Driveways may be increased to 30' radius for truck traffic</li> </ul>
<b>Driveway Spacing</b>	<ul style="list-style-type: none"> <li>&gt;60' between driveways per lot, but number of driveways limited by street frontage allowance.</li> <li>&gt;15' from interior property line except for shared driveways where it will not require an interior yard setback.</li> <li>&gt;30' from the end of curb radius.</li> </ul>

<b>TABLE 3.2-1 Site Planning Standards</b>	
	<b>All Land Use Designations</b>
<b>PARKING</b>	
<b>Number Required</b>	<b><u>Storage and Warehouse Uses:</u></b> <ul style="list-style-type: none"> <li>▪ 1 space per 1,000 square feet of gross floor area (SF/GFA)</li> <li>▪ 1 bicycle space for every 10 parking spaces, but not less than 3 spaces</li> </ul>
	<b><u>Industrial Uses:</u></b> <ul style="list-style-type: none"> <li>▪ 50,000 gross square feet or less: <ul style="list-style-type: none"> <li>▪ 3 spaces per 1,000 SF/GFA</li> </ul> </li> <li>▪ 50,000 to 100,000 gross square feet <ul style="list-style-type: none"> <li>▪ 2.5 spaces per 1,000 SF/GFA</li> </ul> </li> <li>▪ 100,000 gross square feet or more <ul style="list-style-type: none"> <li>▪ 2 spaces per 1,000 SF/GFA</li> </ul> </li> <li>▪ 1 bicycle space for every 10 parking spaces</li> </ul>
	<b><u>Support Commercial:</u></b> <ul style="list-style-type: none"> <li>▪ 25,000 gross square feet or less: <ul style="list-style-type: none"> <li>▪ 4 spaces per 1,000 SF/GFA</li> </ul> </li> <li>▪ Greater than 25,000 gross square feet: <ul style="list-style-type: none"> <li>▪ 3.3 spaces per 1,000 SF/GFA</li> </ul> </li> <li>▪ 1 bicycle space for every 10 parking spaces</li> <li>▪ When more than 10 percent of the gross floor area of a support commercial use is devoted to eating and drinking establishments, the parking requirements are as follows: <ul style="list-style-type: none"> <li>▪ 10-25 percent: 10 spaces per 1,000 SF/GFA</li> <li>▪ Over 25 percent: 12 spaces per 1,000 SF/GFA</li> </ul> </li> </ul>
	<b><u>All Other Uses:</u></b> <ul style="list-style-type: none"> <li>▪ Refer to County Parking Requirements, Section 6750 of County Zoning Ordinance and Off Street Design Manual except as noted below.</li> </ul>
<b>Location</b>	<ul style="list-style-type: none"> <li>▪ On-street parking prohibited on Prime Arterials, Major Roads or four-lane Collector Roads.</li> <li>▪ On-street parking (parallel only) permitted on local streets.</li> <li>▪ Off street parking prohibited in landscape setback areas.</li> </ul>

<b>TABLE 3.2-1 Site Planning Standards</b>	
	<b>All Land Use Designations</b>
	<ul style="list-style-type: none"> <li>▪ In Activity Nodes, off street parking prohibited between building and street right-of-way.</li> <li>▪ In Activity Nodes, off street parking permitted on non-street side of building.</li> </ul>
<b>Screening</b>	<ul style="list-style-type: none"> <li>▪ Commercial truck parking lots shall be screened to minimize public view.</li> <li>▪ Chain-link fencing is prohibited. A maximum four-foot tall berm may be used in combination with the fence or wall.</li> </ul>
<b>GRADING</b>	
<b>Retaining Walls</b>	<ul style="list-style-type: none"> <li>▪ Minimum horizontal separation between walls 4'.</li> <li>▪ Minimum distance to street right of way 10', landscaped to include minimum five-gallon shrubs to achieve a 3-foot tall height at maturity. Shrubs shall be located between street right-of-way and wall at a ratio of 4 per 20 linear feet.</li> <li>▪ Permitted materials: stone, stucco, cast stone, split-face CMU, brick, poured-in-place concrete, brick block, keystone.</li> <li>▪ Timber retaining walls are prohibited.</li> <li>▪ Walls of buildings are permitted to act as retaining walls, subject to all applicable building codes.</li> </ul>
<b>Adjacent to Otay Valley Regional Park</b>	<ul style="list-style-type: none"> <li>▪ Grading or temporary stockpiling of excess fill in canyons is prohibited.</li> <li>▪ Daylight cut conditions are required on the edge of Johnson and O'Neal canyons.</li> <li>▪ Fill slopes shall be planted with non-invasive native plant material similar/compatible with the adjacent areas.</li> <li>▪ Retaining walls and terrace building pads at the canyon edge are prohibited.</li> </ul>
<b>Drainage Control</b>	<ul style="list-style-type: none"> <li>▪ Stormwater management and drainage shall be designed to meet County ordinances and State and National Pollutant Discharge Elimination System (NPDES) permit requirements.</li> <li>▪ Volume for all storage facilities shall be designed according to maximum anticipated buildout.</li> </ul>
<b>BUILDING ORIENTATION</b>	
<b>Accessibility</b>	<ul style="list-style-type: none"> <li>▪ Primary and ground floor building entrances shall orient to plazas or pedestrian sidewalks.</li> <li>▪ Walkways to transit stops shall be landscaped with canopy trees, minimum one 24" box tree / 30 lineal feet of walkway.</li> <li>▪ Buildings in Activity Nodes shall be oriented toward the street that they front.</li> </ul>
<b>Adjacent to Otay Valley Regional Park</b>	<ul style="list-style-type: none"> <li>▪ Buildings shall be sited so as to maximize views to the Otay Valley Regional Park while maintaining 50-foot setback from top of slope.</li> <li>▪ All development adjacent to the Otay Valley Regional Park shall improve a 10-foot wide trail for passive viewing and as a potential connection to the regional park trail system. The trail shall be open to the public and shall connect to a public sidewalk or an alternative location acceptable to the County.</li> </ul>

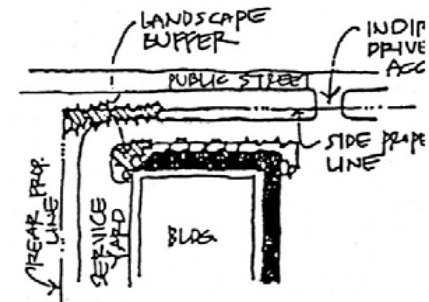
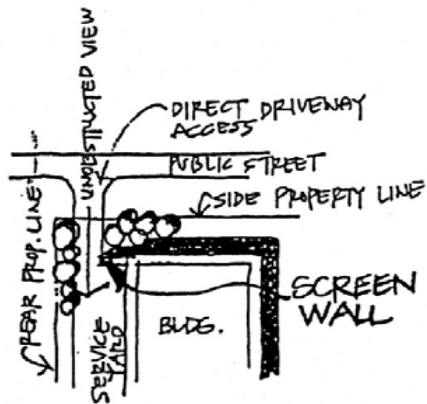
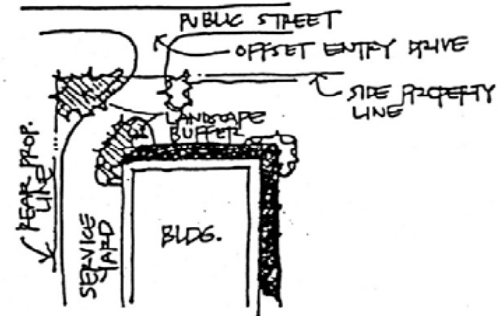
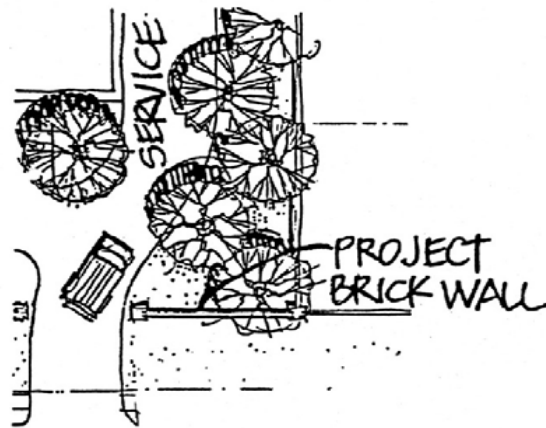
<b>TABLE 3.2-1 Site Planning Standards</b>	
	<b>All Land Use Designations</b>
	<ul style="list-style-type: none"> <li>Window walls shall be oriented to the park.</li> </ul>
<b>USABLE OPEN SPACE</b>	
<b>Location</b>	<b>Industrial:</b> <ul style="list-style-type: none"> <li>All plans shall designate a location(s) on-site for employee passive or recreational activity. This area shall be screened from parking and traffic and shall be improved with benches and shade structures.</li> <li>For purposes of satisfying this requirement, outdoor passive or recreational areas of not less than 2,000 square feet in area shall be provided for each 10 acres of development area. The outdoor areas may occur as one large area serving several lots as identified on the site plan or subdivision map. Within an Activity Node, a plaza may satisfy this requirement.</li> <li>Where more than one building is located on a site, buildings shall be organized around or designed to create courtyards or outdoor spaces, unless this is precluded by the primary use of the facility, such as truck loading docks.</li> <li>Spaces between buildings shall include entry courts, defined plazas, lunchtime retreats, or formal and informal gardens, unless this is precluded by the primary use of the facility, such as truck loading docks.</li> <li>Planting, low walls and fences shall enclose one or more sides of an outdoor space.</li> <li>Off-street parking and loading areas, driveways, and service areas shall not be counted as usable open space.</li> </ul>
	<b>Activity Node:</b> <ul style="list-style-type: none"> <li>The required 5-foot setback between building and street right-of-way shall apply towards usable open space. The setbacks may be increased to 10' to create outdoor dining areas and to avoid buildings with straight unbroken facades.</li> <li>The usable open space may be a central plaza, park or "public square or green" located central to the Activity Node and easily accessible from buildings in the Node.</li> </ul>
<b>Screening</b>	<ul style="list-style-type: none"> <li>Ground level open space shall include minimum 4' tall (at maturity) screening from abutting parking by dense landscaping, or masonry fence or wall, either solid or semi-opaque. Chain link fencing is prohibited.</li> <li>When adjacent to plazas and courtyards, views to trash dumpster areas, equipment or storage areas, and loading docks shall be screened utilizing material compatible with the adjacent building and integrated into building architecture.</li> </ul>

<b>TABLE 3.2-1 Site Planning Standards</b>	
	<b>All Land Use Designations</b>
<b>SERVICE AREAS</b>	
<b>Loading Areas, Docks and Service Areas</b>	<ul style="list-style-type: none"> <li>▪ Shall not encroach into landscape setback areas.</li> <li>▪ Shall be minimum 30 feet from the street front property line and adequately screened.</li> <li>▪ Shall be screened from the Otay Valley Regional Park</li> <li>▪ Shall be adequately screened from any public right-of-way by a wall, hedge, row of evergreen trees space 12-feet on center, or other visual barrier (Figure 3.2-1).</li> </ul>
<b>Mechanical Equipment</b>	<ul style="list-style-type: none"> <li>▪ Satellite dishes, back flow preventors, stand pipes, etc. that cannot be located indoors, shall be screened from view by fences, walls or landscape materials that blend with the landscape palette.</li> </ul>
<b>Public Utility Structures</b>	<ul style="list-style-type: none"> <li>▪ Traffic signal boxes, transformers, telephone switching boxes and other public utility structures shall be located underground or appropriately screened, with landscaping or architectural treatment.</li> </ul>
<b>FENCING, WALLS &amp; HEDGES</b>	
<b>Required Fences and Walls</b>	<ul style="list-style-type: none"> <li>▪ All open sales, display and storage areas shall be enclosed by a view-obscuring fence or wall not less than six feet high. This requirement does not apply to the following commercial use types: <ul style="list-style-type: none"> <li>▪ Agricultural Sales (Retail nursery only);</li> <li>▪ Outdoor dining areas of Eating and Drinking Establishments; and</li> <li>▪ Gasoline Sales (No open storage of goods or materials; all repair and lubrication services shall take place in an enclosed building.)</li> </ul> </li> </ul>
<b>Maximum Height</b>	<ul style="list-style-type: none"> <li>▪ 6' above grade, except where a greater height is permitted in these standards..</li> </ul>
<b>Materials</b>	<ul style="list-style-type: none"> <li>▪ Any durable material, except wood, corrugated metal and chain link.</li> <li>▪ A hedge or other dense landscaping can satisfy a requirement for a view-obscuring fence and shall be maintained in accordance with landscape provisions of The Zoning Ordinance (refer to Landscaping Standards, Table 3.2-2).</li> </ul>
<b>LIGHTING</b>	
<b>General</b>	<ul style="list-style-type: none"> <li>▪ All lighting shall comply with the County Light Pollution Code (County Code § 59.101 et seq.).</li> </ul>
<b>Vehicular Areas</b>	<ul style="list-style-type: none"> <li>▪ In Activity Node parking areas, lighting shall be on 15'-poles and complementary to building architecture. Illumination levels shall meet guidelines for vehicular areas (see County Light Pollution Code - County Code § 59.101 et seq.).</li> </ul>
<b>Service and Loading Areas</b>	<ul style="list-style-type: none"> <li>▪ Lighting shall include directional shields and shall not overflow from the service areas into adjoining parcels.</li> <li>▪ No floodlights shall be permitted on buildings except for wall packs with cut-off luminaries.</li> </ul>



<b>TABLE 3.2-1 Site Planning Standards</b>	
	<b>All Land Use Designations</b>
<b>Buildings</b>	<ul style="list-style-type: none"> <li>▪ Building illumination and architectural lighting shall be indirect in character (no light source visible).</li> <li>▪ Architectural lighting shall articulate and animate entrances and other prominent architectural elements as well as provide the required functional lighting for safety and clarity of pedestrian movement.</li> </ul>
<b>Pedestrian Areas</b>	<ul style="list-style-type: none"> <li>▪ Lighting for pedestrian walks shall be designed for point-to-point illumination, but no specific illumination levels are required. The main emphasis shall be to clearly identify the pedestrian walkway and direction of travel.</li> </ul>
<b>Adjacent to Natural Open Space and/or the OVRP</b>	<ul style="list-style-type: none"> <li>▪ Lighting shall be directed away from areas designated as Conservation/Limited Use Area or permanent open space area and away from the Otay Valley Regional Park.</li> </ul>

Figure 3.2-1 Screening Techniques



### 3.2.2 Landscaping Standards

*Landscape standards establish a sense of cohesiveness and harmony of uses as well as create a park-like identity that will soften the building elements and large areas of paving.*

Table 3.2-2 provides landscaping guidelines for the East Otay Mesa Specific Plan SubArea 1. The overall intent is to establish a sense of cohesiveness and harmony of uses as well as create a park-like identity that will soften the building elements and large areas of paving. Landscape plans for all development in East Otay Mesa shall be submitted and approved pursuant to the County Zoning Ordinance Section 6712 et seq. Every lot improved with a building or other substantial structure, interim or permanent, shall be landscaped within 90 days following completion of the structure, or prior to occupancy, whichever occurs first, and shall be maintained thereafter in a well-kept, disease-free and healthy condition. Drought tolerant and non-invasive landscaping is required throughout East Otay Mesa. Plant material as specified in the County's Landscape, Water Conservation and Design Manual shall be used. Other shrubs, trees, and ground covers not listed may also accomplish the desired goals of the Specific Plan, and if they do so, are encouraged also.

The Landscaping table addresses the following:

*Every lot improved with a building or other substantial structure, interim or permanent, shall be landscaped within 90 days following completion of the structure, or prior to occupancy, whichever occurs first, and shall be maintained thereafter in a well-kept, disease-free and healthy condition.*

- General Landscaping Notes
- Streetscapes
- Building Setback Landscaping
- Building Landscaping
- Parking Lot Landscaping
- Screening
- Landscaping Adjacent to the Otay Valley Regional Park
- Minimum Standards
- Irrigation

A California Licensed Landscape Architect shall certify, pursuant to Section 6713 of the County Zoning Ordinance, that the landscape plans meet the requirements of the East Otay Mesa Specific Plan and the County's Landscape Water Conservation Ordinance and Design Manual (CLWCODM).

<b>TABLE 3.2-2 Landscaping Standards</b>	
	<b>All Land Use Designations</b>
<b>GENERAL</b>	
<b>Berming</b>	<ul style="list-style-type: none"> <li>▪ Landscaping in setback areas or parkways paralleling streets shall be contoured and mounded to create continuous rounded slopes and berms.</li> <li>▪ Average mound height shall be a minimum 30”.</li> </ul>
<b>Plant Material</b>	<ul style="list-style-type: none"> <li>▪ Plant material shall be selected from the County Landscape Water Conservation Ordinance and Design Manual or to the satisfaction of the Director of the Department of Planning and Land Use.</li> <li>▪ Plant material shall be drought tolerant and capable of naturalizing or surviving on their own after two years of supplemental irrigation. Exotics and invasive species are prohibited on property within 300 feet of the Conservation/Limited Use Area or the Otay Valley Regional Park.</li> <li>▪ On slopes adjacent to open space, only native plant material shall be used.</li> </ul>
<b>STREETSCAPES</b>	
<b>Street Trees - General</b>	<ul style="list-style-type: none"> <li>▪ On-site tree planting in required setbacks shall be consistent with public right-of-way streetscape concept (Section 2.3.5 Public Landscaping and Streetscape Plant List in Appendix 3).</li> <li>▪ Retaining walls shall not be located within the first 10 feet of landscape setback.</li> </ul>
<b>Gateway Roads (Prime Arterials and Majors)</b>	<ul style="list-style-type: none"> <li>▪ Tree species and planting pattern shall be a single row of palms spaced 25 feet apart (Streetscape Plant List, Appendix 3).</li> <li>▪ The palm trees shall be planted 7½ feet from the street curb.</li> <li>▪ A 3-foot wide planter shall separate the roadway from the 4-foot wide sidewalk with shrubs spaced every 3 feet on center and maintained at a height of 36 inches maximum (Streetscape Plant List, Appendix 3).</li> <li>▪ Medians shall be landscaped with medium evergreens. Trees shall be planted every 25 feet. The median shall be paved with Sandstone colored concrete and stamped with a Dry Creek Bed pattern. Five-foot by five-foot tree grates shall be set flush with concrete (per San Diego Regional Standard Drawings L-4) around each tree located down the center of the median.</li> <li>▪ Sidewalks shall be separated from the traveled way by a 3-foot landscaped parkway.</li> </ul>
<b>Major Roads (non-Gateway)</b>	<ul style="list-style-type: none"> <li>▪ Shall be planted with large-sized evergreen trees (Streetscape Plant List, Appendix 3).</li> <li>▪ Minimum number of trees shall be 1 tree for every 30 lineal feet of street frontage and located 7½ feet from the face of the curb.</li> <li>▪ A 3-foot wide planter shall separate the roadway from the 4-foot wide sidewalk with shrubs spaced every 3 feet on center and maintained at a height of 36 inches maximum (Streetscape Plant List, Appendix 3).</li> </ul>

<b>TABLE 3.2-2 Landscaping Standards</b>	
	<b>All Land Use Designations</b>
<b>Industrial/Commercial Collector Roads</b>	<ul style="list-style-type: none"> <li>▪ Shall be planted with medium-sized evergreen or deciduous canopy trees spaced every 25 feet and located 7½ feet from the face of the curb.</li> <li>▪ A 3-foot wide planter shall separate the roadway from the 4-foot wide sidewalk with shrubs spaced every 3 feet on center and maintained at a height of 36 inches maximum (Streetscape Plant List, Appendix 3).</li> </ul>
<b>Activity Node Street</b>	<ul style="list-style-type: none"> <li>▪ Shall be planted with flowering canopy tree in sidewalk cutout areas (Streetscape Plant List, Appendix 3).</li> <li>▪ Cutout areas shall be covered with tree grates.</li> <li>▪ Trees shall be planted every 25 lineal feet, at a distance of 7½ feet from curb.</li> <li>▪ The 4'x 4' tree grates shall be flush with the concrete cutout areas.</li> </ul>
<b>Major Intersections</b>	<ul style="list-style-type: none"> <li>▪ Shall be planted with three flowering trees located outside of the right-of-way on private property at each corner (Streetscape Plant List, Appendix 3).</li> <li>▪ Additional landscaping such as shrubs and groundcover shall be required and sight lines preserved for vehicular safety. (See County Road Standards for Corner Sight Distance at Intersections).</li> <li>▪ Flowering groundcover and shrubs shall supplement the trees.</li> <li>▪ No turf is allowed with the intersection plantings.</li> <li>▪ Shrubs shall not exceed 30 inches in height within this area.</li> </ul>
<b>BUILDING SETBACK LANDSCAPING</b>	
<b>Facing Gateway Roads (Prime Arterials)</b>	<ul style="list-style-type: none"> <li>▪ On-site tree species and planting pattern shall be a single row of palms spaced 25 feet apart alternating with a single row of evergreen canopy trees spaced 25 feet apart.</li> </ul>
<b>Facing Major Roads (non-Gateway)</b>	<ul style="list-style-type: none"> <li>▪ On-site trees shall be coordinated with parkway trees to create an alternating pattern of evergreen trees based on 1 tree per 30 feet of street frontage.</li> </ul>
<b>Facing Industrial/Commercial Collector Roads</b>	<ul style="list-style-type: none"> <li>▪ On-site trees shall be small canopy size, planted in groupings of a minimum 11 trees per group and spaced every 100-feet or fraction thereof, and shall be compatible with on-site landscaping of adjacent developed properties.</li> </ul>

<b>TABLE 3.2-2 Landscaping Standards</b>	
<b>All Land Use Designations</b>	
<b>BUILDING LANDSCAPING</b>	
<b>Minimum Depth</b>	<ul style="list-style-type: none"> <li>Landscaped area between the building and any auto circulation area shall be 10 feet minimum.</li> </ul>
<b>Trees and Shrubs</b>	<ul style="list-style-type: none"> <li>One tree per each 20 lineal feet of the combined length of the front and both sidewall dimensions of the building.</li> <li>Shrubs (5-gallon container) shall be planted at the following ratio:               <ul style="list-style-type: none"> <li>Front: 1 shrub / 4 lineal feet</li> <li>Corner Side: 1 shrub / 5 lineal feet</li> <li>Interior Side: 1 shrub / 5 lineal feet for first 25 feet of building closest to fronting street.</li> <li>Rear: N/A</li> <li>Side Adjacent Open Space: 1 shrub / 7.5 lineal feet</li> </ul> </li> <li>All remaining areas of the planting bed shall be groundcover or one-gallon shrubs, vines, ornamental grasses or perennials with a minimum of 3" organic mulch for water conservation.</li> </ul>
<b>PARKING LOT</b>	
<b>General</b>	<ul style="list-style-type: none"> <li>All trees, shrubs or groundcover shall comply with the County Off-Street Parking Design Manual</li> </ul>
<b>Planting Islands</b>	<ul style="list-style-type: none"> <li>One minimum 5' x 18' island or equivalent / ten parking spaces. Each island shall be planted with one 24" box canopy tree and 5-gallon shrubs that will achieve 60% coverage in two growing seasons.</li> <li>Turf not permitted.</li> <li>All landscape areas within a parking lot shall be permanently irrigated.</li> </ul>
<b>Screening</b>	<ul style="list-style-type: none"> <li>Parking areas adjacent to Otay Valley Regional Park shall be screened from public view by native or native compatible landscaping.</li> <li>Parking areas located between buildings and street shall be screened with shrubs and trees.</li> </ul>
<b>SCREENING</b>	
<b>Hedges</b>	<ul style="list-style-type: none"> <li>Where required, screening shrub masses shall be planted at a rate of four five-gallon shrubs per 20 linear feet.</li> <li>Other ornamental shrubs may also be planted in masses for accents or erosion control.</li> <li>Screen hedges shall be spaced to insure complete screening within two growing seasons and should be maintained at a height of no less than 36" in order to provide effective screening.</li> <li>Hedges shall not block any required sight lines at intersections or driveways.</li> </ul>

<b>TABLE 3.2-2 Landscaping Standards</b>	
<b>All Land Use Designations</b>	
<b>LANDSCAPING ADJACENT TO THE OTAY VALLEY REGIONAL PARK</b>	
<b>Restrictions</b>	<ul style="list-style-type: none"> <li>▪ Invasive plant species that out-grow and take over natural vegetation shall not be used within Johnson or O'Neal Canyons, or within 300 feet of any boundary within the Otay Valley Regional Park Concept Plan Boundary.</li> </ul>
<b>MINIMUM STANDARDS</b>	
<b>Trees</b>	<ul style="list-style-type: none"> <li>▪ Required trees planted in the street frontage, parking lot, or adjacent to the buildings shall be a minimum size of 24-inch box and double staked. No tree guying shall be allowed.</li> <li>▪ All other trees shall be minimum 15-gallon, except Eucalyptus trees, which may be minimum 5-gallon, but are limited to 20 percent of the required tree planting. All 15-gallon trees shall be single staked.</li> </ul>
<b>Groundcover &amp; Shrubs</b>	<ul style="list-style-type: none"> <li>▪ All exposed soil areas shall be planted with ground cover and shrubs that will cover the area within approximately six months from the time of planting.</li> <li>▪ Types of shrubs and ground cover shall be complementary to the streetscape plantings.</li> <li>▪ Required shrubs planted in the street frontage, building setback areas and parking lots shall be a minimum size of 5 gallons unless plant material is only grown in smaller sizes.</li> <li>▪ Spacing of shrubs shall be based on size of plant at maturity; shrubs shall be planted closer when used for screening.</li> </ul>
<b>Manufactured Slopes (steeper than 3:1)</b>	<ul style="list-style-type: none"> <li>▪ Supplemental shrubs and ground cover shall be planted at the average minimum rate of one shrub (one gallon size) per 100 square feet and one five-gallon shrub per 200 square feet.</li> </ul>

**TABLE 3.2-2****Landscaping Standards**

	<b>All Land Use Designations</b>
<b>Maintenance</b>	<ul style="list-style-type: none"> <li>▪ Landscape plans shall include the following note: “All plant material shall be sound, healthy specimens typical of their species, with well-formed tops and roots, and shall be free from all injurious insects, insect eggs or larvae, diseases, serious injuries to bark, root or foliage, broken branches, or any types of disfigurement. Plant proportions shall be those recognized as normal for a well-grown plant of that species and size, as recommended by the American Standard for Nursery Stock. Installations of all plants shall conform to the standards of the American Association of Nurserymen. All plants that fail to make new growth from a dormant condition, decline or die shall be replaced. A plant is considered dead if at least 50 percent of its growth is dead. All replacements shall conform to the original intent of the planting design.”</li> <li>▪ Provide a note on plans as to individual or entity to be responsible for installation and on-going maintenance of irrigation and planting within both the public right-of-way and the property itself.</li> <li>▪ Each discretionary project shall be conditioned to require participation in a permanent maintenance program, including assessments or special taxes to finance the maintenance of landscaping and irrigation within the public right-of-way.</li> </ul>
<b>IRRIGATION</b>	
<b>General</b>	<ul style="list-style-type: none"> <li>▪ All landscaped and lawn areas shall be effectively watered, including streetscape, roadway medians, islands and medians in parking lots and divided access driveways.</li> <li>▪ Sprinkler heads shall be located to effectively water areas intended with minimal overthrow onto pavement, walks, etc. Provide 100 percent overlap insuring effective and even coverage.</li> <li>▪ All irrigation systems shall be designed by a Licensed California Landscape Architect and installed by a contractor with C-27 licensing in the State of California.</li> <li>▪ Drip irrigation systems shall be used where appropriate.</li> </ul>
<b>Screening Requirements</b>	<ul style="list-style-type: none"> <li>▪ All exposed mechanical equipment such as automatic controllers, backflow preventors, and vacuum breakers shall be screened or located in an area away from public view.</li> </ul>
<b>Conservation</b>	<ul style="list-style-type: none"> <li>▪ Rain gauges are required on all irrigation projects, temporary or permanent.</li> <li>▪ Separate valve sections shall be used for shrub and lawn areas that have different water requirements.</li> <li>▪ Systems must be designed with no or minimum overflow on walks and paved surfaces.</li> </ul>
<b>Water Management Plan</b>	<ul style="list-style-type: none"> <li>▪ Must be submitted for all Landscape Plans and be in conformance with the County Landscape Water Conservation Ordinance Design Manual.</li> </ul>



### 3.2.3 Architectural Standards

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*Emphasis is on high quality design and construction in order to promote well-designed, well-detailed buildings. Harmonious development, pedestrian-scale architecture, particularly at the street level, and a hierarchical scale of uses are sought.*

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The purpose of the Architectural Standards is to define architectural principles that are appropriate, distinctive and add value by their ability to attract investors, tenants and employees. Standards contained in Tables 3.2-3 and 3.2-4 are meant to insure the architectural integrity of the community as a whole. Emphasis is on high quality design and construction in order to promote well-designed, well-detailed buildings. Harmonious development, pedestrian-scale architecture, particularly at the street level, and a hierarchical scale of uses are sought. For example, anchor stores are to be emphasized as more important structures and smaller businesses in the main retail structure are to have lesser emphasis. Independent pad sites or buildings shall have their own unique identity but relate to the large main structure.

All development projects within the Specific Plan Area shall comply with the Architectural Standards of this plan. The Architectural Standards are broken into two tables, one for industrial development (Table 3.2-3) and one for commercial development (Table 3.2-4). Each table addresses information as follows:

- Building Design
- Exterior Building Materials
- Climatic Considerations
- Parking Structures
- Other Considerations

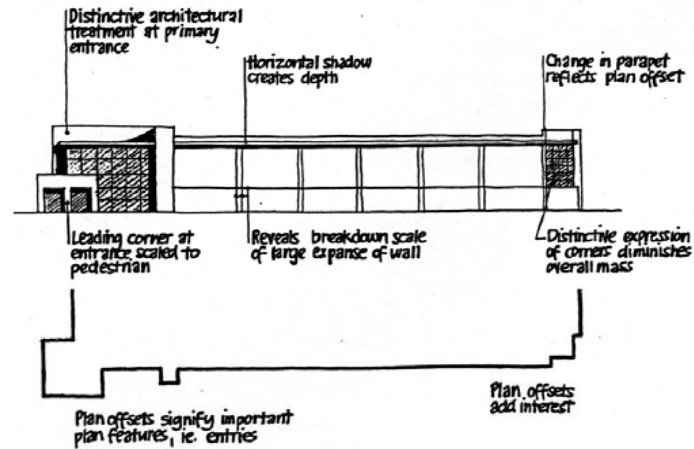
**TABLE 3.2-3**  
**Architectural Standards – Industrial Development**

	<b>Technology Business Park, Light Industrial and Heavy Industrial</b>
<b>BUILDING DESIGN</b>	
<b>Form and Mass</b>	<ul style="list-style-type: none"> <li>Plan offsets on the street-facing elevation(s) shall be incorporated to avoid buildings with straight, unbroken facades. No building shall be longer than 200 lineal feet without some modulation of the façade.</li> <li>Offsets, projections, overhangs, horizontal and vertical color bands, windows, false window panels, recesses and cornice detailing are devices that shall be used to increase areas of shade and shadow and prevent blank walls (Figure 3.2-2).</li> <li>When a corner of a building is located adjacent to an intersection or driveway, the corner shall be articulated using any of the strategies identified in Figure 3.2-3. A right angle corner with no articulation is prohibited.</li> </ul>
<b>Reveals</b>	<ul style="list-style-type: none"> <li>Exterior walls shall provide architectural reveals to break up the wall surface. At a minimum, reveals shall occur at every structural bay (Figure 3.2-4).</li> <li>Reveals of varying size and direction shall be required. For example, on long horizontal walls, vertical reveals shall be utilized accentuating the height of a building and lessening its horizontal impact.</li> </ul>
<b>Roofline Articulation and Roof Forms</b>	<ul style="list-style-type: none"> <li>Long continuous parapets shall be broken to add hierarchy, scale and visual interest.</li> <li>Distinctive roof forms shall be used to distinguish entry points.</li> </ul>
<b>Entrances</b>	<ul style="list-style-type: none"> <li>Building entrances shall be emphasized so their location is apparent and clear. Porches, loggias, arcades and canopies are helpful to call attention to an entrance (Figure 3.2-5).</li> <li>Use of color accents and special materials at entrances can be used to create an intensity of focus to the overall building.</li> </ul>
<b>Windows</b>	<ul style="list-style-type: none"> <li>For the office portion of buildings fronting on a street, a minimum 50 lineal feet of every 100 lineal feet shall be glass. Width of glass may vary.</li> </ul>
<b>Rooftop Equipment</b>	<ul style="list-style-type: none"> <li>Shall be fully screened from view from street and Regional Park by the extension of building sidewalls or parapets to a height at least as great as the highest piece of equipment, or by a screening structure that may incorporate grillwork, louvers and/or latticework. Where a screening device would create more distraction than the equipment would otherwise, the screening device may be omitted and the equipment painted to match the roof color.</li> </ul>

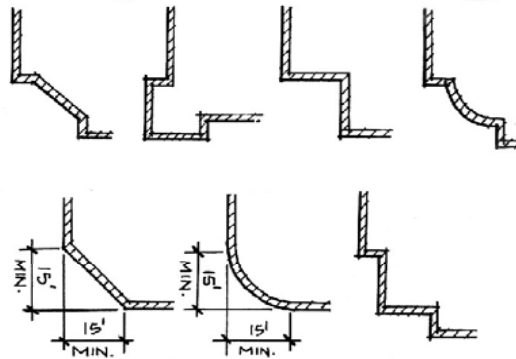
**TABLE 3.2-3**  
**Architectural Standards – Industrial Development**

	<b>Technology Business Park, Light Industrial and Heavy Industrial</b>
<b>Accessory Building and Outdoor Storage Areas</b>	<ul style="list-style-type: none"> <li>All accessory buildings shall be designed as an integral component of the site development and architecture.</li> <li>Building material colors, roofline, general form and character shall be compatible with primary building or buildings on the site.</li> <li>Where permitted, outdoor storage shall be screened from a public street or common areas.</li> </ul>
<b>EXTERIOR BUILDING MATERIALS</b>	
<b>Permitted</b>	<ul style="list-style-type: none"> <li>Treated concrete, masonry, ornamental plaster and/or stone are permitted. Variations and combinations are permitted.</li> </ul>
<b>Prohibited</b>	<ul style="list-style-type: none"> <li>Stucco, metal, mirror glass, curtain wall, wood or plastic are prohibited as dominate materials. They may be used for trim, decorative elements, and signs.</li> </ul>
<b>CLIMATIC CONSIDERATIONS</b>	
<b>Window Locations</b>	<ul style="list-style-type: none"> <li>Windows on the east, west, and south shall use landscaping and window treatment (i.e., shades and blinds) to reduce solar glare.</li> </ul>
<b>Elements to Shade Wall Surface</b>	<ul style="list-style-type: none"> <li>Courtyards, porches, arcades, trellises, loggias, pergolas, verandas, overhangs or trees are encouraged to shade exterior wall surfaces and windows from direct sun exposure.</li> </ul>
<b>PARKING STRUCTURES</b>	
<b>Design</b>	<ul style="list-style-type: none"> <li>All sides of a parking structure visible from the street or common area shall be faced with a building material similar to or the same as the adjoining building.</li> </ul>
<b>Location</b>	<ul style="list-style-type: none"> <li>Parking structures shall be placed toward the rear of properties, away from street frontage and shall meet building setback requirements.</li> </ul>
<b>Screening Methods</b>	<ul style="list-style-type: none"> <li>Parking structures shall be screened by one or a combination of the following: dense planting, sunken parking structure design, with dense slope planting, berms, and planting in front of structure.</li> </ul>
<b>OTHER CONSIDERATIONS</b>	
<b>Building Types</b>	<ul style="list-style-type: none"> <li>Construction trailers permitted only as interim facilities during construction phase of project.</li> </ul>

Figure 3.2-2 Building Form and Massing  
And  
Figure 3.2-3 Building Corner Articulation

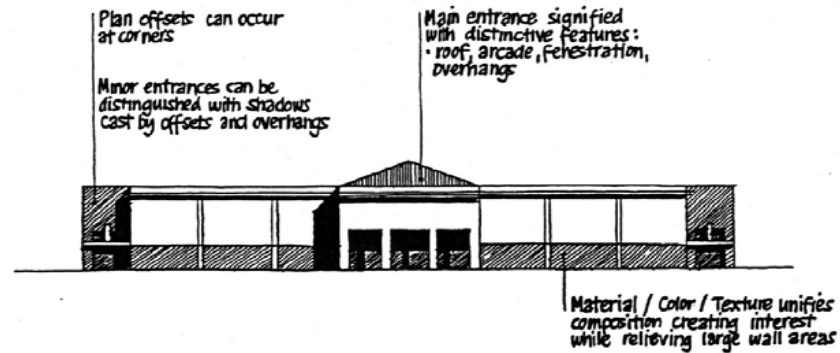


Building Form and Massing  
Figure 3.2-3A.1

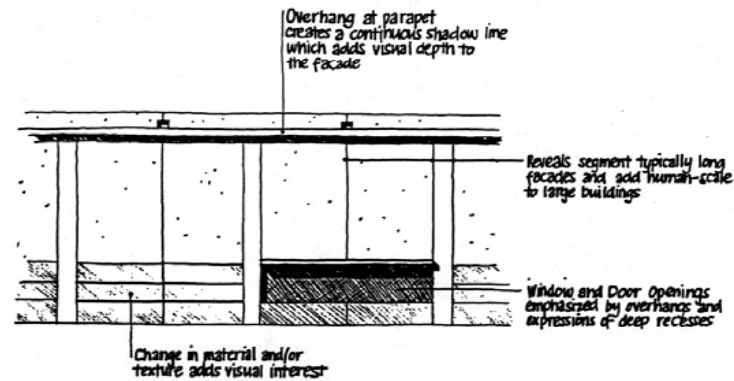


Building Corner Articulation  
Figure 3.2-3A.2

Figure 3.2-4 Elevation Treatments  
And  
Figure 3.2-5 Entrance Treatments



Elevation Treatments  
Figure 3.2-3A.3



Entrance Treatments  
Figure 3.2-3A.4

**TABLE 3.2-4  
Architecture Standards – Commercial Development**

	Activity Node and Commercial Center
<b>BUILDING DESIGN</b>	
<b>Form and Mass</b>	<ul style="list-style-type: none"> <li>▪ Varying roof slopes and building mass is required. Continuous flat rooflines shall not be permitted.</li> <li>▪ Building facades longer than 200 feet shall include gables and arches or other articulation at distances of 75-90 feet (Figure 3.2-6).</li> <li>▪ Valid methods of wall articulation include but are not limited to faux windows, arcade, building indentations, architectural detailing, gables, and arches as shown in Figure 3.2-7.</li> </ul>
<b>Cornice</b>	<ul style="list-style-type: none"> <li>▪ Permitted materials: stucco; trim stone parapet, and pre-cast concrete or prefab cornice to match project brick.</li> </ul>
<b>Downspouts</b>	<ul style="list-style-type: none"> <li>▪ Downspouts shall be incorporated into the structure of the columns or be painted to match the adjacent building façade.</li> <li>▪ Roof drainage may not flow cross pedestrian walks or trails.</li> </ul>
<b>Entrances</b>	<ul style="list-style-type: none"> <li>▪ Building entrances shall be emphasized so their location is apparent and clear. Porches, loggias, arcades and canopies are helpful to call attention to an entrance.</li> <li>▪ Use of color accents and special materials at entrances can be used to create an intensity of focus to the overall building.</li> </ul>
<b>Arcades, Loggias and Awnings</b>	<ul style="list-style-type: none"> <li>▪ All retail storefronts shall employ the use of arcades, loggias, arbors or awnings that may encroach 3 feet into the setback area.</li> </ul>
<b>Corner or End Treatment</b>	<ul style="list-style-type: none"> <li>▪ All street corner buildings and the main building in a commercial center must be punctuated at the ends/corners with an articulated architectural element (i.e., tower, cupola, notching, etc.).</li> <li>▪ Articulation shall consist of a minimum five-foot offset and a length of 12' - 25', and shall be higher than the adjacent building façade by at least 4'.</li> </ul>
<b>Reveals</b>	<ul style="list-style-type: none"> <li>▪ Exterior wall surface areas shall provide architectural reveals to break up the wall surface. At a minimum, reveals should occur at every structural bay.</li> <li>▪ Reveals of varying size and direction are encouraged. For example, on long horizontal walls, vertical reveals shall be utilized accentuating the height of a building and lessening its horizontal impacts.</li> </ul>
<b>Windows</b>	<ul style="list-style-type: none"> <li>▪ Windows and doorframes shall be aluminum with bronze or white finish. Aluminum-clad and vinyl clad window frames with a bronze finish are acceptable.</li> <li>▪ Full height windows shall be permitted.</li> <li>▪ Security bars or rolling grilles are prohibited unless fully concealed during regular business hours.</li> </ul>

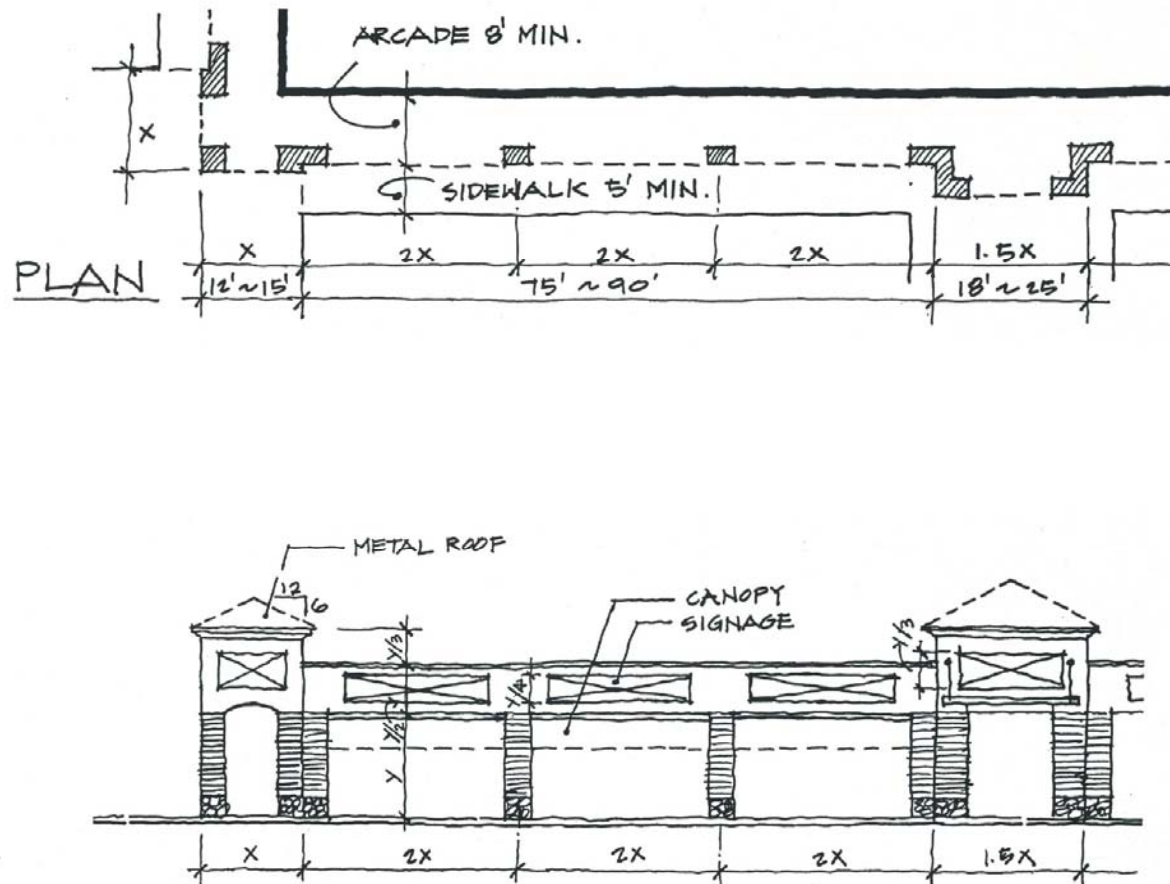
**TABLE 3.2-4**  
**Architecture Standards – Commercial Development**

	Activity Node and Commercial Center
<b>Roofline Articulation and Roof Forms</b>	<ul style="list-style-type: none"> <li>▪ Long continuous parapets shall be broken to add hierarchy, scale, and visual interest.</li> <li>▪ Distinctive roof forms shall be used to distinguish entry points and create a unique skyline.</li> <li>▪ Flat roof buildings shall incorporate shed roofs or trellises covering exterior walkways or loggias to scale down the structure and provide relief.</li> </ul>
<b>Rooftop Equipment</b>	<ul style="list-style-type: none"> <li>▪ Rooftop structures and/or mechanical equipment, including appurtenances, shall be fully screened from view from street, park or adjacent property by the extension of building side walls or parapets to a height at least as great as the highest piece of equipment, or by a screening structure which may incorporate grill work, louvers and/or latticework.</li> </ul>
<b>Accessory Buildings and Outdoor Storage</b>	<ul style="list-style-type: none"> <li>▪ Building material colors, roofline, general form and character shall match or be compatible with primary building or buildings on the site.</li> <li>▪ Temporary wood and metal type buildings are prohibited. Temporary trailers are permitted only as interim facilities during construction phase of project.</li> <li>▪ Where outdoor storage is permitted, a minimum 8 foot tall fence or wall shall enclose the outdoor storage.</li> </ul>
<b>EXTERIOR BUILDING MATERIALS</b>	
<b>Permitted: Front and Sides of Buildings</b>	<ul style="list-style-type: none"> <li>▪ Permitted materials include brick, stone, stucco, Hardiplank siding, tinted storefront glass (non-reflective), glass block, pre-cast concrete or cast stone. Cast stone, stucco, complementary brick, stone or granite is acceptable as architectural trim material or accents.</li> </ul>
<b>Permitted: Rear of Buildings</b>	<ul style="list-style-type: none"> <li>▪ Permitted building materials on rear of buildings shall be brick, tilt wall, split face, CMU painted to match the primary building material, or stucco.</li> </ul>
<b>Not Permitted</b>	<ul style="list-style-type: none"> <li>▪ Curtain wall, wood or plastic is prohibited as dominant materials. They may be used for trim, decorative elements, and signs.</li> </ul>
<b>CLIMATIC CONSIDERATIONS</b>	
<b>Window Locations</b>	<ul style="list-style-type: none"> <li>▪ All retail storefronts are encouraged to use arcades, loggias or awnings at windows and doorways. Other uses shall, at a minimum, locate said structures at the building entry.</li> </ul>
<b>Elements to Shade Wall Surface</b>	<ul style="list-style-type: none"> <li>▪ Protected courtyards, porches, arcades, trellises, loggias, pergolas, verandas, overhangs or trees shall be used to shade exterior wall surfaces and windows from direct sun exposure.</li> </ul>
<b>Courtyards</b>	<ul style="list-style-type: none"> <li>▪ Any size courtyard, particularly south-facing, may be used to create outdoor spaces, giving the site a more favorable microclimate for year-round activities.</li> </ul>

<b>TABLE 3.2-4 Architecture Standards – Commercial Development</b>	
	<b>Activity Node and Commercial Center</b>
<b>PARKING STRUCTURES</b>	
<b>Design</b>	<ul style="list-style-type: none"> <li>▪ All sides of a parking structure visible from the street or common area must be faced with a building material similar to or the same as the adjoining building.</li> </ul>
<b>Location</b>	<ul style="list-style-type: none"> <li>▪ Parking structures shall be placed toward the rear of property lines, away from street frontage, and shall meet building setback requirements.</li> </ul>
<b>Screening Methods</b>	<ul style="list-style-type: none"> <li>▪ Parking structures shall be screened by one or a combination of the following: dense planting of trees; sunken parking structure design with dense slope planting; berms and planting in front of structure.</li> </ul>
<b>OTHER CONSIDERATIONS</b>	
<b>Outdoor Open Space Areas</b>	<ul style="list-style-type: none"> <li>▪ Outdoor open space areas may encroach the setback area by no more than 10 feet.</li> <li>▪ Open frame structures such as arbors or trellises will be permitted to encroach the setback area.</li> </ul>



Figure 3.2-6 Commercial Architectural Standards



EAST OTAY MESA

COMMERCIAL ARCHITECTURAL STANDARDS

Figure 3.2-3B.1

Figure 3.2-7 Activity Node Storefronts/Preferred Character



EAST OTAY MESA

ACTIVITY NODE STOREFRONTS PREFERRED CHARACTER  
Figure 3.2-3B.2